

TEACHER HOUSING AUTHORITY
PROPOSED HOUSING DEVELOPMENT
AT 35B NANDEWAR STREET, NARRABRI - NSW 2390
LOT 12 | SECTION 19 | DP 758755



-
A00
LOCALITY PLAN
NTS

| DRAWINGS SCHEDULE | | | | |
|-------------------|-----------------------------|---|---------------------------|------------|
| DWG NO. | SHEET NAME | | REVISION | DATE |
| A00 | COVER SHEET & LOCALITY PLAN | C | RE-ISSUED FOR DA APPROVAL | 04/05/2021 |
| A01 | GENERAL NOTES & BASIX COM. | A | ISSUED FOR DA APPROVAL | 04/05/2021 |
| A01' | BASIX COMMITMENTS | A | ISSUED FOR DA APPROVAL | 04/05/2021 |
| A02 | SITE PLAN | C | RE-ISSUED FOR DA APPROVAL | 04/05/2021 |
| A03 | FLOOR PLAN - UNIT 1 | C | RE-ISSUED FOR DA APPROVAL | 04/05/2021 |
| A04 | FLOOR PLAN - UNIT 2 | C | RE-ISSUED FOR DA APPROVAL | 04/05/2021 |
| A05 | FLOOR PLAN - UNIT 3 | C | RE-ISSUED FOR DA APPROVAL | 04/05/2021 |
| A06 | UNIT 1 - ELEVATIONS | B | ISSUED FOR DA APPROVAL | 28/04/2021 |
| A07 | UNITS 2 & 3 - ELEVATIONS | B | ISSUED FOR DA APPROVAL | 28/04/2021 |
| A08 | SECTION | B | ISSUED FOR DA APPROVAL | 28/04/2021 |
| A09 | WINDOWS & DOORS SCHEDULE | B | ISSUED FOR DA APPROVAL | 28/04/2021 |
| A10 | SHADOW DIAGRAMS | A | ISSUED FOR DA APPROVAL | 04/05/2021 |

Notes:

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| C | RE-ISSUED FOR DA APPROVAL | VM | 04/05/21 |
| B | ISSUED FOR DA APPROVAL | VM | 28/04/21 |
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| STATUS: NOT FOR CONSTRUCTION | | | |



Public Works
Advisory

Drew Varnum
Executive Director
A division of the Department of Regional NSW

CLIENT: TEACHER HOUSING AUTHORITY
Level 3
66 Harrington Street, The Rocks
Sydney - NSW 2000



Teacher
Housing

SITE: 35B Nandewar Street
Narrabri - NSW

TITLE: THA Capital Works
LOCALITY PLAN

| | | | |
|-------------------------|---------------------|----------------|----------------|
| SCALE AT A3: NTS | DATE: 04/05/2021 | DRAWN: VM | CHECKED: VM |
| PROJECT NO: 10042011 | DRAWING NO: A00 | REVISION: C | |

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| GENERAL NOTES (BCA) |
| WINDOW SIZES NOMINATED ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND. |
| WHERE THE BUILDING (EXCLUDES A DETACHED CLASS 10) IS LOCATED IN A TERMITE PRONE AREA THE AREA TO UNDERSIDE OF BUILDING AND PERIMETER IS TO BE TREATED AGAINST TERMITE ATTACK. |
| FOR BUILDINGS IN MARINE OR OTHER EXPOSURE ENVIRONMENTS SHALL HAVE MASONRY UNITS, MORTAR AND ALL BUILT IN COMPONENTS AND THE LIKE COMPLYING WITH THE DURABILITY REQUIREMENTS OF TABLE 5.1 OF AS3700 MASONRY STRUCTURES |
| ALL STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL. |
| THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS DRAWINGS/DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT. |
| SURVEY PLAN MEASUREMENTS IN METERS - ALL OTHER MEASUREMENTS IN MILLIMETERS U.N.O. |
| FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. |
| THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS. |
| THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION. |
| INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS. |
| THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM. |
| THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE DESIGNER'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE. |
| THE APPROVAL BY THIS OFFICE OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ANY SAID VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT AND WHERE APPLICABLE THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING THE SAID VARIATION. |
| SITE CLASSIFICATION |
| REFER TO SOIL REPORT PROVIDED BY LICENSED SOIL ENGINEER FOR SITE CLASSIFICATION. |
| STORMWATER |
| 100mm DIA. CLASS 6 UPVC STORMWATER LINE LAID TO A MINIMUM GRADE OF 1:100 AND CONNECTED TO THE LEGAL POINT OF STORMWATER DISCHARGE. PROVIDE INSPECTION OPENINGS AT 900MM C/C AND AT EACH CHANGE OF DIRECTION. |
| THE COVER TO UNDERGROUND STORMWATER DRAINS SHALL BE NOT LESS THAN - 300MM UNDER SOIL - 50MM UNDER PAVED OR CONCRETE AREAS - 100MM UNDER UNREINFORCED CONCRETE OR PAVED DRIVEWAYS - 75MM UNDER REINFORCED CONCRETE DRIVEWAYS |
| DESIGN GUST WIND SPEED / WIND CLASSIFICATION |
| BUILDING TIE-DOWNS TO BE PROVIDED IN ACCORDANCE WITH AS1684 FOR AN ASSUMED DESIGN GUST WIND SPEED / WIND CLASSIFICATION TO BE CONFIRMED ON SITE BY RELEVANT BUILDING SURVEYOR AT FIRST INSPECTION. REFER TO AS1684 AND ENGINEERING PLANS FOR CONSTRUCTION REQUIREMENTS. |
| GENERAL NOTES (BCA) |
| ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS, THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN. |
| GLAZING INCLUDING SAFETY GLAZING SHALL BE INSTALLED TO A SIZE, TYPE AND THICKNESS SO AS TO COMPLY WITH: -BCA PART 3.6 FOR CLASS 1 AND 10 BUILDINGS WITHIN A DESIGN WIND SPEED OF NOT MORE THAN N3, AND -BCA PART B1.4 FOR CLASS 2 TO 9 BUILDINGS |
| WATERPROOFING OF WET AREAS, BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3740: WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS. |
| STEP SIZES (OTHER THAN FOR SPIRAL STAIRS) TO BE: - RISERS (R) 190MM MAXIMUM AND 115MM MINIMUM - GOING (G) 355MM MAXIMUM AND 240MM MINIMUM - 2R + 1G = 700MM MAXIMUM AND 550MM MINIMUM - WITH LESS THAN 125MM GAP BETWEEN OPEN TREADS |
| ALL TREADS, LANDINGS AND THE LIKE TO HAVE NON SLIP FINISH OR SUITABLE NON-SKID STRIP NEAR EDGE OF NOSING. |
| CONTRACTOR IS RESPONSIBLE FOR FULL COMPLIANCE WITH ALL ADDITIONAL REQUIREMENTS LISTED IN THE 'BUSH FIRE ASSESSMENT REPORT' SUPPLIED BY BARNSON PTY LTD, DATED 12th DECEMBER 2017. |
| CONSTRUCTION |
| DESIGN & LEVELS PROVIDED ARE BASED ON SURVEY INFORMATION AVAILABLE FROM GRAHAM F. HOWE SURVEYING (REF.:T18-9). ENSURE THAT ACTUAL SITE FINISHED LEVELS ARE LOGICAL AND COMPLY WITH DRAINAGE INTENT. OBTAIN PROJECT MANAGERS APPROVAL WITH ANY DISCREPANCIES. |
| ALL WORKS TO BE IN ACCORDANCE WITH LOCAL COUNCIL STANDARDS, SPECIFICATIONS AND AUSTRALIAN STANDARDS. CONFLICTS SHALL BE REFERRED TO THE PROJECT MANAGER FOR DIRECTION. |
| THE CONTRACTOR IS TO OBTAIN ALL AUTHORITY APPROVALS AS REQUIRED. |
| THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, LOCATION AND LEVELS OF ALL EXISTING SERVICES ON SITE PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL ALLOW FOR ANY PROTECTION TO EXISTING SERVICES AS REQUIRED. ANY SERVICE DAMAGED DURING THE WORKS SHALL BE REINSTATED AT THE CONTRACTORS EXPENSE. |

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling houses

(a) Dwellings

| (i) Water | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| (a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below. | | | |
| (b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table). | ✔ | ✔ | |
| (c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it. | | ✔ | ✔ |
| (d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below. | | ✔ | ✔ |
| (e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling. | | ✔ ✔ | ✔ ✔ |
| (e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below. | ✔ | ✔ | |
| (f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both). | | ✔ | |
| (g) The pool or spa must be located as specified in the table. | ✔ | ✔ | |
| (h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified. | ✔ | ✔ | ✔ |

| Dwelling no. | Fixtures | | | | | Appliances | | Individual pool | | | | Individual spa | | |
|---------------|-------------------------------|-----------------------------|------------------|-------------------|-------------------------------|---------------------|------------------|---------------------|------------|---------------|-------------|---------------------|-----------|------------|
| | All shower-heads | All toilet flushing systems | All kitchen taps | All bathroom taps | HW recirculation or diversion | All clothes washers | All dish-washers | Volume (max volume) | Pool cover | Pool location | Pool shaded | Volume (max volume) | Spa cover | Spa shaded |
| All dwellings | 3 star (> 7.5 but <= 9 L/min) | 4 star | 4 star | 4 star | no | - | - | - | - | - | - | - | - | - |


| Dwelling no. | Alternative water source | | | | | | | |
|---------------------|----------------------------------|-------------------------------|---|----------------------|-----------------------|--------------------|-------------|------------|
| | Alternative water supply systems | Size | Configuration | Landscape connection | Toilet connection (s) | Laundry connection | Pool top-up | Spa top-up |
| 1 | individual water tank (no. 1) | Tank size (min) 2000.0 litres | To collect run-off from at least: 125.0 square metres of roof area; | yes | yes | yes | no | no |
| 2 | individual water tank (no. 1) | Tank size (min) 2000.0 litres | To collect run-off from at least: 120.0 square metres of roof area; | yes | yes | yes | no | no |
| All other dwellings | individual water tank (no. 1) | Tank size (min) 2000.0 litres | To collect run-off from at least: 65.0 square metres of roof area; | yes | yes | yes | no | no |

| (ii) Energy | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| (a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below. | | | |
| (b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system. | ✔ | ✔ | ✔ |
| (c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table. | | ✔ | ✔ |


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Public Works
Advisory



CLIENT: TEACHER HOUSING AUTHORITY
Level 3
66 Harrington Street, The Rocks
Sydney - NSW 2000



Teacher
Housing

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|-------------------------|---|----------------|----------------|
| SITE: | 35B Nandewar Street Narrabri - NSW | | |
| TITLE: | THA Capital Works GENERAL NOTES & BASIX COM. | | |
| SCALE AT A3: NTS | DATE: 04/05/2021 | DRAWN: VM | CHECKED: VM |
| PROJECT NO: 10042011 | DRAWING NO: A01 | REVISION: A | |

| (ii) Energy | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| (d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms. | | ✓ | ✓ |
| (e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting. | | ✓ | ✓ |
| (f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight. | ✓ | ✓ | ✓ |
| (g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump. | | ✓ | |
| (h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table. | | ✓ | ✓ |
| (i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated". | | ✓ | |
| (j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system. | ✓ | ✓ | ✓ |

| | Hot water | Bathroom ventilation system | | Kitchen ventilation system | | Laundry ventilation system | |
|---------------|------------------|-----------------------------|----------------------|----------------------------|----------------------|---|-------------------|
| Dwelling no. | Hot water system | Each bathroom | Operation control | Each kitchen | Operation control | Each laundry | Operation control |
| All dwellings | electric storage | individual fan, not ducted | manual switch on/off | individual fan, not ducted | manual switch on/off | natural ventilation only, or no laundry | - |

| | Cooling | | Heating | | Artificial lighting | | | | | | Natural lighting | |
|---------------------|---|---|---|---|----------------------------|---------------------------------|-----------------|-----------------------|-----------------|-----------------|-------------------------------|--------------|
| Dwelling no. | living areas | bedroom areas | living areas | bedroom areas | No. of bedrooms &/or study | No. of living &/or dining rooms | Each kitchen | All bathrooms/toilets | Each laundry | All hallways | No. of bathrooms &/or toilets | Main kitchen |
| 1 | 1-phase airconditioning EER 3.0 - 3.5 (zoned) | 1-phase airconditioning EER 3.0 - 3.5 (zoned) | 1-phase airconditioning EER 3.0 - 3.5 (zoned) | 1-phase airconditioning EER 3.0 - 3.5 (zoned) | 2 (dedicated) | 2 (dedicated) | yes (dedicated) | yes (dedicated) | yes (dedicated) | yes (dedicated) | 2 | no |
| 2 | 1-phase airconditioning EER 3.0 - 3.5 (zoned) | 1-phase airconditioning EER 3.0 - 3.5 (zoned) | 1-phase airconditioning EER 3.0 - 3.5 (zoned) | 1-phase airconditioning EER 3.0 - 3.5 (zoned) | 3 (dedicated) | 2 (dedicated) | yes (dedicated) | yes (dedicated) | yes (dedicated) | yes (dedicated) | 3 | no |
| All other dwellings | 1-phase airconditioning EER 3.0 - 3.5 (zoned) | 1-phase airconditioning EER 3.0 - 3.5 (zoned) | 1-phase airconditioning EER 3.0 - 3.5 (zoned) | 1-phase airconditioning EER 3.0 - 3.5 (zoned) | 1 (dedicated) | 2 (dedicated) | yes (dedicated) | yes (dedicated) | yes (dedicated) | yes (dedicated) | 1 | no |

| | Individual pool | | Individual spa | | Appliances & other efficiency measures | | | | | | | |
|---------------|---------------------|-------|--------------------|-------|--|--------------|------------------------------|------------|----------------|---------------|---|--|
| Dwelling no. | Pool heating system | Timer | Spa heating system | Timer | Kitchen cooktop/oven | Refrigerator | Well ventilated fridge space | Dishwasher | Clothes washer | Clothes dryer | Indoor or sheltered clothes drying line | Private outdoor or unsheltered clothes drying line |
| All dwellings | - | - | - | - | electric cooktop & electric oven | - | yes | - | - | - | no | yes |

| | Alternative energy |
|---------------------|--|
| Dwelling no. | Photovoltaic system (min rated electrical output in peak kW) |
| 1 | 2.0 |
| All other dwellings | 1.0 |

| (iii) Thermal Comfort | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| (a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development. | | | |
| (b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol. | | | |
| (c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below. | | | |
| (d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case. | ✓ | | |
| (e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications. | | ✓ | |
| (f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications. | | ✓ | ✓ |
| (g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab. | ✓ | ✓ | ✓ |
| (h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below. | ✓ | ✓ | ✓ |
| | | | |
| | | | |

| | Thermal loads | |
|---------------------|--|--|
| Dwelling no. | Area adjusted heating load (in mJ/m²/yr) | Area adjusted cooling load (in mJ/m²/yr) |
| 1 | 30.1 | 47.9 |
| 2 | 33.2 | 38.8 |
| All other dwellings | 40.8 | 79.1 |

| | Construction of floors and walls | | | | |
|---------------------|----------------------------------|---|---|-----------------------------------|--|
| Dwelling no. | Concrete slab on ground(m²) | Suspended floor with open subfloor (m²) | Suspended floor with enclosed subfloor (m²) | Suspended floor above garage (m²) | Primarily rammed earth or mudbrick walls |
| 1 | 97 | - | - | - | No |
| 2 | 120 | - | - | - | No |
| All other dwellings | - | 15 | - | 40 | No |

3. Commitments for common areas and central systems/facilities for the development (non-building specific)

(b) Common areas and central systems/facilities

| (i) Water | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| (a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table. | | ✓ | ✓ |
| (b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table. | ✓ | ✓ | ✓ |
| (c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table. | ✓ | ✓ | |
| (d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table. | | ✓ | |
| (e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table. | | ✓ | ✓ |
| (f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table. | | ✓ | ✓ |

| Common area | Showerheads rating | Toilets rating | Taps rating | Clothes washers rating |
|------------------|--------------------|--------------------|--------------------|----------------------------|
| All common areas | no common facility | no common facility | no common facility | no common laundry facility |

| (ii) Energy | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| (a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified. | | ✓ | ✓ |
| (b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified. | | ✓ | ✓ |
| (c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table. | ✓ | ✓ | ✓ |


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| STATUS: NOT FOR CONSTRUCTION | | | |

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|  Public Works Advisory | <div>Drew Varnum Executive Director <i>A division of the Department of Regional NSW</i></div> |
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| CLIENT: | TEACHER HOUSING AUTHORITY Level 3 66 Harrington Street, The Rocks Sydney - NSW 2000 |
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|---|---------------------|--------------|----------------|
| SITE: 35B Nandewar Street Narrabri - NSW | | | |
| TITLE: THA Capital Works BASIX COMMITMENTS | | | |
| SCALE AT A3: NTS | DATE: 04/05/2021 | DRAWN: VM | CHECKED: VM |
| PROJECT NO: 10042011 | DRAWING NO: A01' | | REVISION: A |

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LEGEND

| | |
|-----|---------------------------------------|
| FT1 | FLOOR FINISH - CONCRETE SMOOTH FINISH |
| FT5 | FLOOR FINISH - CONCRETE BROOM FINISH |
| RWT | RAINWATER TANK - 2000 Litre |
| HWU | HOT WATER UNIT |
| GVL | "MANGAROO" GRAVEL 20mm |
| TF | "SIR WALTER" BUFFALO GRASS |

| | | | |
|------------------------------|----------------------------|-----|----------|
| C | RE-ISSUED FOR DA APPROVAL | VM | 04/05/21 |
| B | ISSUED FOR DA APPROVAL | VM | 28/04/21 |
| A | ISSUED FOR CLIENT APPROVAL | VM | 29/03/21 |
| REV: | DESCRIPTION: | BY: | DATE: |
| STATUS: NOT FOR CONSTRUCTION | | | |



Public Works
Advisory

Drew Varnum
Executive Director
A division of the Department of Regional NSW

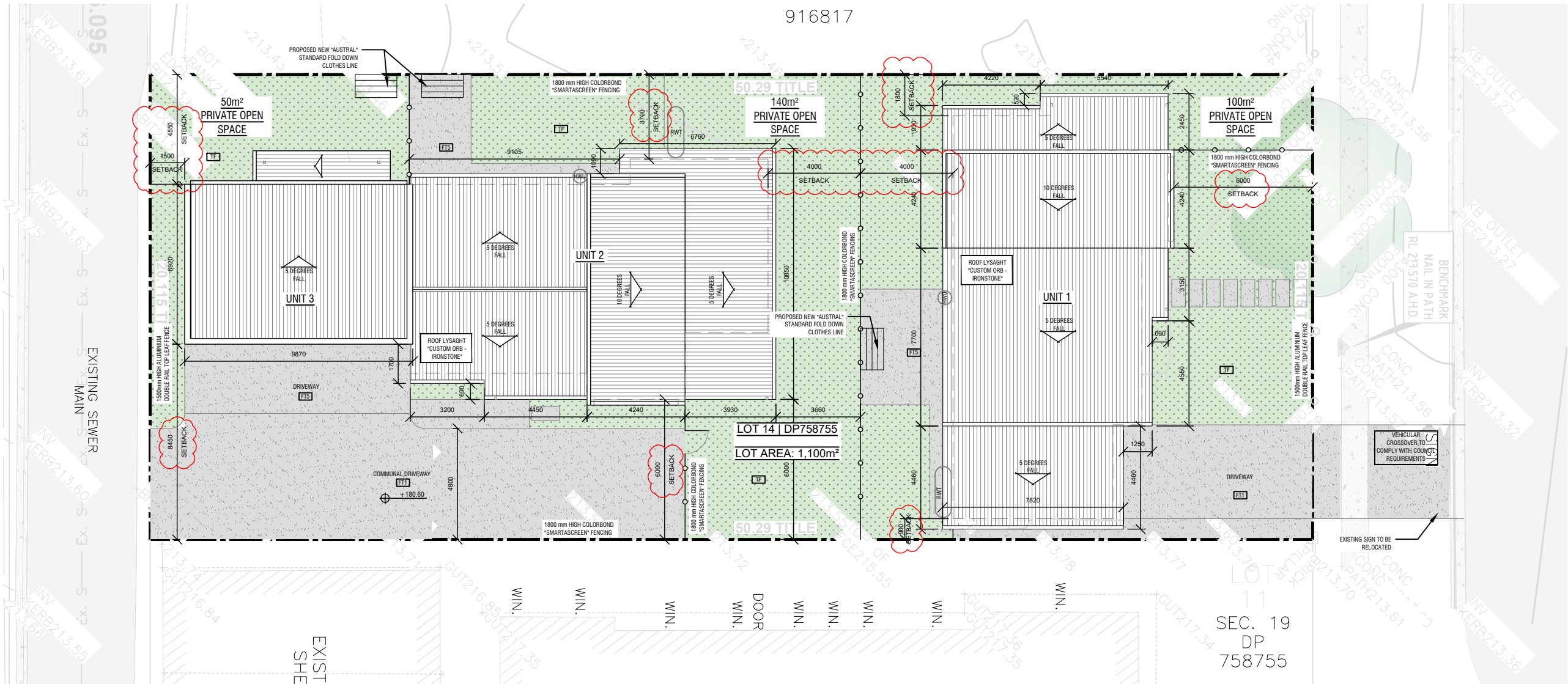
CLIENT: TEACHER HOUSING AUTHORITY
Level 3
66 Harrington Street, The Rocks
Sydney - NSW 2000



SITE: 35B Nandewar Street
Narrabri - NSW

TITLE: THA Capital Works
SITE PLAN

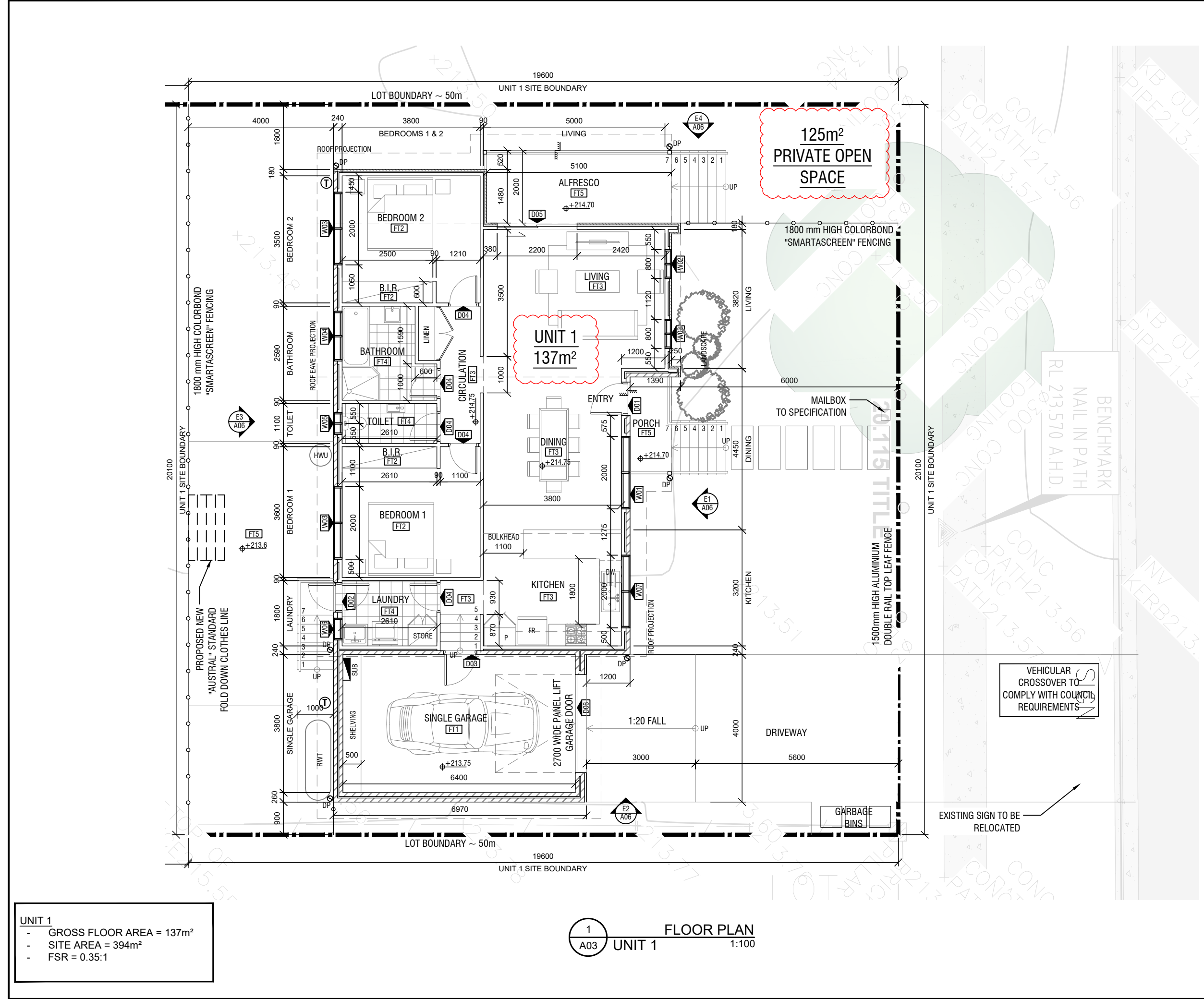
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| SCALE AT A3: 1:200 | DATE: 04/05/2021 | DRAWN: VM | CHECKED: VM |
| PROJECT NO: 10042011 | DRAWING NO: A02 | REVISION: C | |



SITE PLAN

1:200





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|--|---------------------------------------|
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| LEGEND | |
| FFL | FINISHED FLOOR LEVEL |
| FT1 | FLOOR FINISH - CONCRETE SMOOTH FINISH |
| FT2 | FLOOR FINISH - CARPET |
| FT3 | FLOOR FINISH - VINYL |
| FT4 | FLOOR FINISH - TILED |
| FT5 | FLOOR FINISH - CONCRETE BROOM FINISH |
| W13 | WINDOW NUMBER - REFER SCHEDULE |
| D12 | DOOR NUMBER - REFER SCHEDULE |
| 90mm STUD WALL | |
| SELECTED CUSTOM METAL CLADDING FIXED HORIZONTALLY TO STUD WALL | |
| SELECTED BRICK WORK WALL | |
| DP | DOWNPIPE |
| MH | MANHOLE |
| RWT | RAINWATER TANK - 2000 Litre |
| HWU | HOT WATER UNIT |
| FR | SELECTED FRIDGE |
| DW | SELECTED DISHWASHER |
| T | WATER TAP |

| | | | |
|------------------------------|----------------------------|-----|----------|
| C | RE-ISSUED FOR DA APPROVAL | VM | 04/05/21 |
| B | ISSUED FOR DA APPROVAL | VM | 28/04/21 |
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Public Works
Advisory



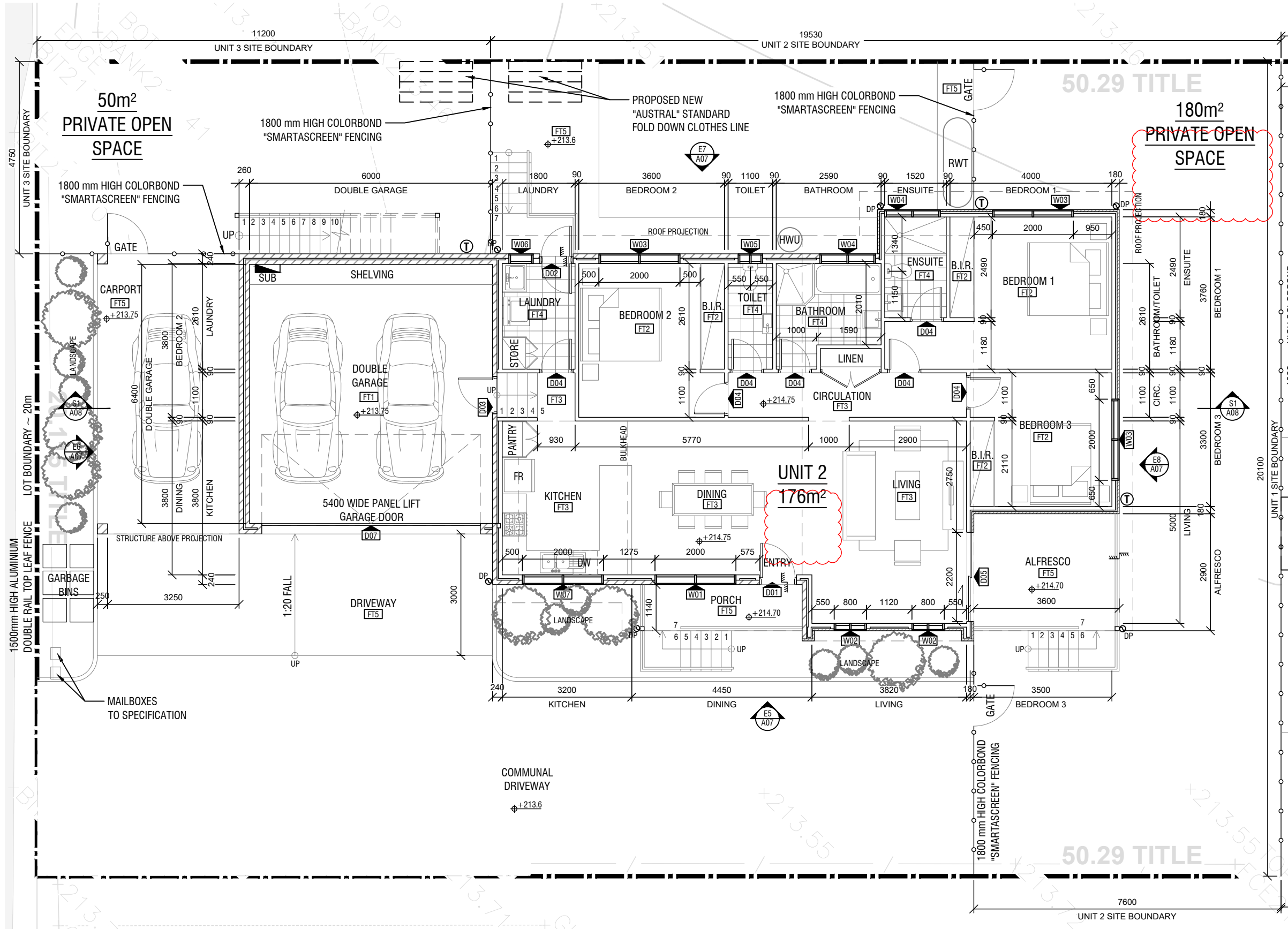
Drew Varnum
Executive Director
A division of the Department of Regional NSW

CLIENT: TEACHER HOUSING AUTHORITY
Level 3
66 Harrington Street, The Rocks
Sydney - NSW 2000



Teacher Housing

| | |
|---|------------------|
| SITE: 35B Nandewar Street Narrabri- NSW | |
| TITLE: THA Capital Works FLOOR PLAN - UNIT 1 | |
| SCALE AT A3: | DATE: 04/05/2021 |
| PROJECT NO: 10042011 | DRAWING NO: A03 |
| | CHECKED: VM |
| | REVISION: C |



| UNIT 2 | |
|--------|--------------------------------------|
| - | GROSS FLOOR AREA = 176m ² |
| - | SITE AREA = 400m ² |
| - | FSR = 0.44:1 |
| UNIT 3 | |
| - | GROSS FLOOR AREA = 71m ² |
| - | SITE AREA = 174m ² |
| - | FSR = 0.40:1 |

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LEGEND

| FFL | FINISHED FLOOR LEVEL |
|---|---------------------------------------|
| FT1 | FLOOR FINISH - CONCRETE SMOOTH FINISH |
| FT2 | FLOOR FINISH - CARPET |
| FT3 | FLOOR FINISH - VINYL |
| FT4 | FLOOR FINISH - TILED |
| FT5 | FLOOR FINISH - CONCRETE BROOM FINISH |
| W13 | WINDOW NUMBER - REFER SCHEDULE |
| D12 | DOOR NUMBER - REFER SCHEDULE |
| 90mm STUD WALL | |
| SELECTED CUSTOM METAL CLADDING FIXED HORIZONTALLY TO STUD WALL | |
| SELECTED BRICK WORK WALL | |
| DP | DOWNPIPE |
| MH | MANHOLE |
| RWT | RAINWATER TANK - 2000 Litre |
| HWU | HOT WATER UNIT |
| FR | SELECTED FRIDGE |
| DW | SELECTED DISHWASHER |
| T | WATER TAP |

| | | | |
|------------------------------|----------------------------|-----|----------|
| C | RE-ISSUED FOR DA APPROVAL | VM | 04/05/21 |
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Public Works
Advisory

Drew Varnum
Executive Director
A division of the Department of Regional NSW

CLIENT: TEACHER HOUSING AUTHORITY
Level 3
66 Harrington Street, The Rocks
Sydney - NSW 2000



Teacher Housing

SITE: 35B Nandewar Street
Narrabri- NSW

TITLE: THA Capital Works
FLOOR PLAN - UNIT 2

| | | | |
|--------------|-------------|-----------|----------|
| SCALE AT A3: | DATE: | DRAWN: | CHECKED: |
| 1:100 | 04/05/2021 | VM | VM |
| PROJECT NO: | DRAWING NO: | REVISION: | |
| 10042011 | A04 | C | |

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LEGEND

| FFL | FINISHED FLOOR LEVEL |
|---|---------------------------------------|
| FT1 | FLOOR FINISH - CONCRETE SMOOTH FINISH |
| FT2 | FLOOR FINISH - CARPET |
| FT3 | FLOOR FINISH - VINYL |
| FT4 | FLOOR FINISH - TILED |
| FT5 | FLOOR FINISH - CONCRETE BROOM FINISH |
| W13 | WINDOW NUMBER - REFER SCHEDULE |
| D12 | DOOR NUMBER - REFER SCHEDULE |
| 90mm STUD WALL | |
| SELECTED CUSTOM METAL CLADDING FIXED HORIZONTALLY TO STUD WALL | |
| SELECTED BRICK WORK WALL | |
| DP | DOWNPIPE |
| MH | MANHOLE |
| RWT | RAINWATER TANK - 2000 Litre |
| HWU | HOT WATER UNIT |
| FR | SELECTED FRIDGE |
| DW | SELECTED DISHWASHER |

| | | | |
|------------------------------|----------------------------|-----|----------|
| B | ISSUED FOR DA APPROVAL | VM | 28/04/21 |
| A | ISSUED FOR CLIENT APPROVAL | VM | 29/03/21 |
| REV: | DESCRIPTION: | BY: | DATE: |
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Drew Varnum
Executive Director
A division of the Department of Regional NSW

CLIENT: TEACHER HOUSING AUTHORITY
Level 3
66 Harrington Street, The Rocks
Sydney - NSW 2000

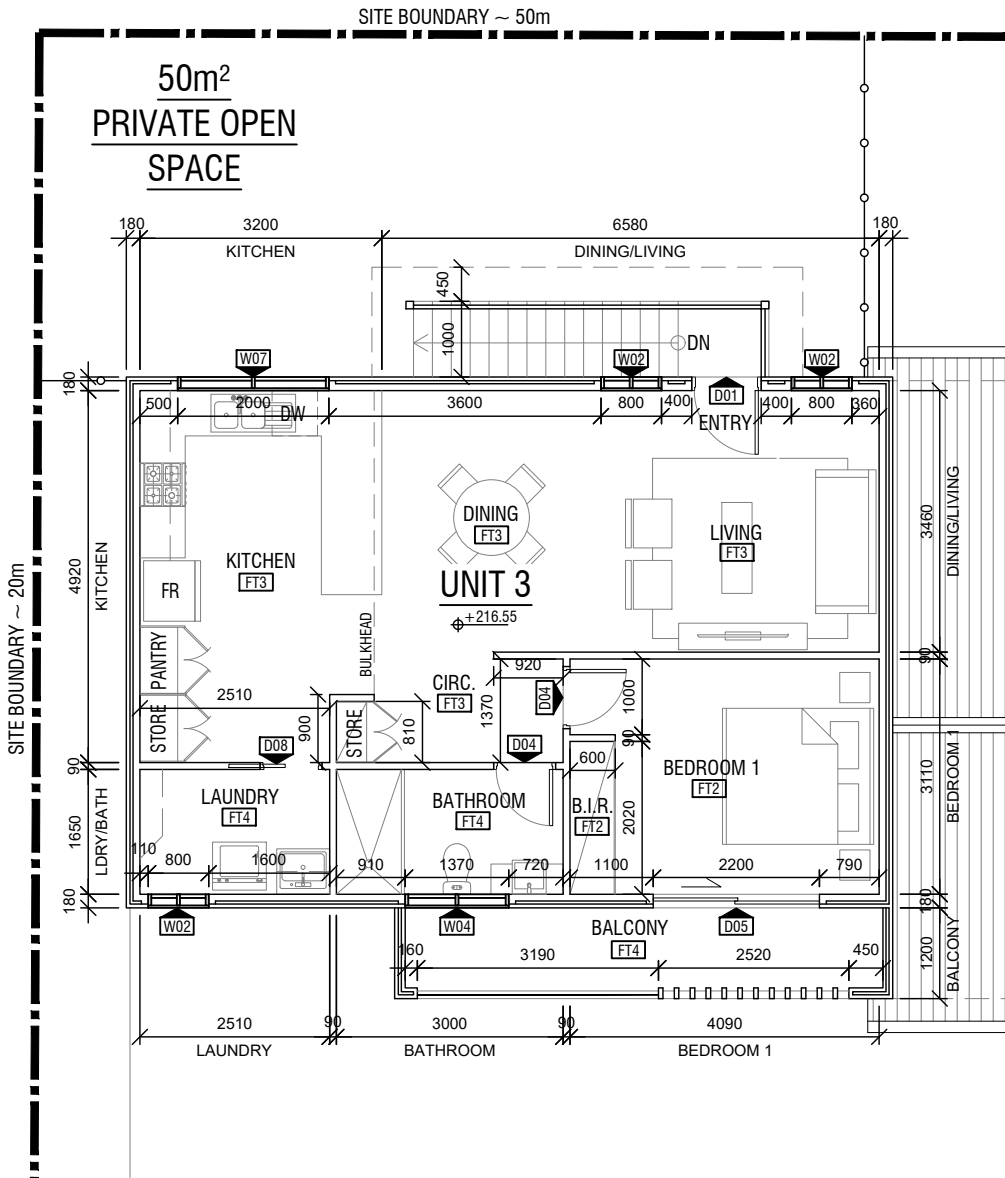


Teacher
Housing

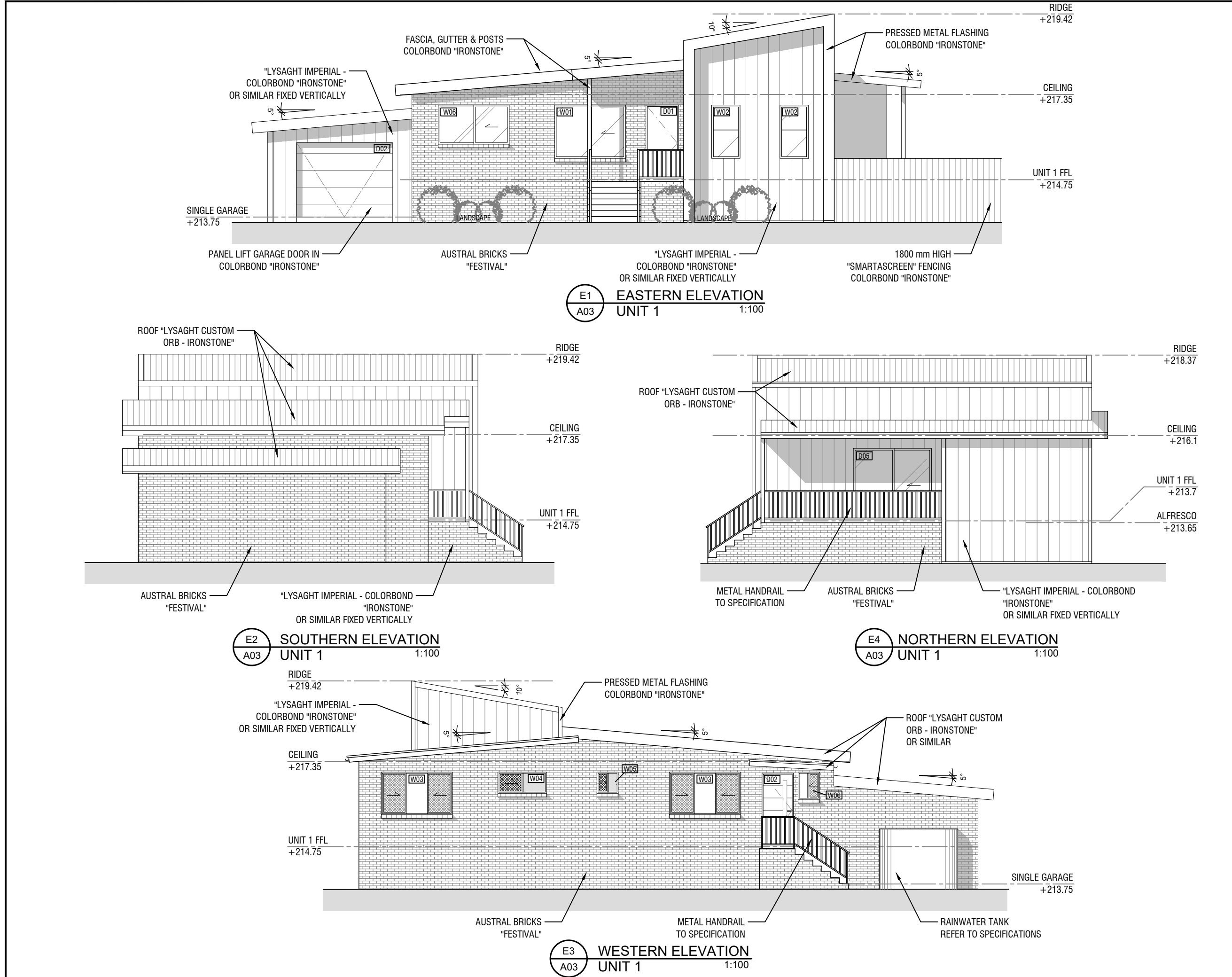
SITE: 35B Nandewar Street
Narrabri- NSW

TITLE: THA Capital Works
FLOOR PLAN - UNIT 3

| | | | |
|-------------------------|---------------------|----------------|----------------|
| SCALE AT A3: 1:100 | DATE: 27/04/2021 | DRAWN: VM | CHECKED: VM |
| PROJECT NO: 10042011 | DRAWING NO: A05 | REVISION: B | |



FLOOR PLAN
UNIT 3
1:100




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| | | | |
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| STATUS: NOT FOR CONSTRUCTION | | | |




Public Works
Advisory

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Executive Director
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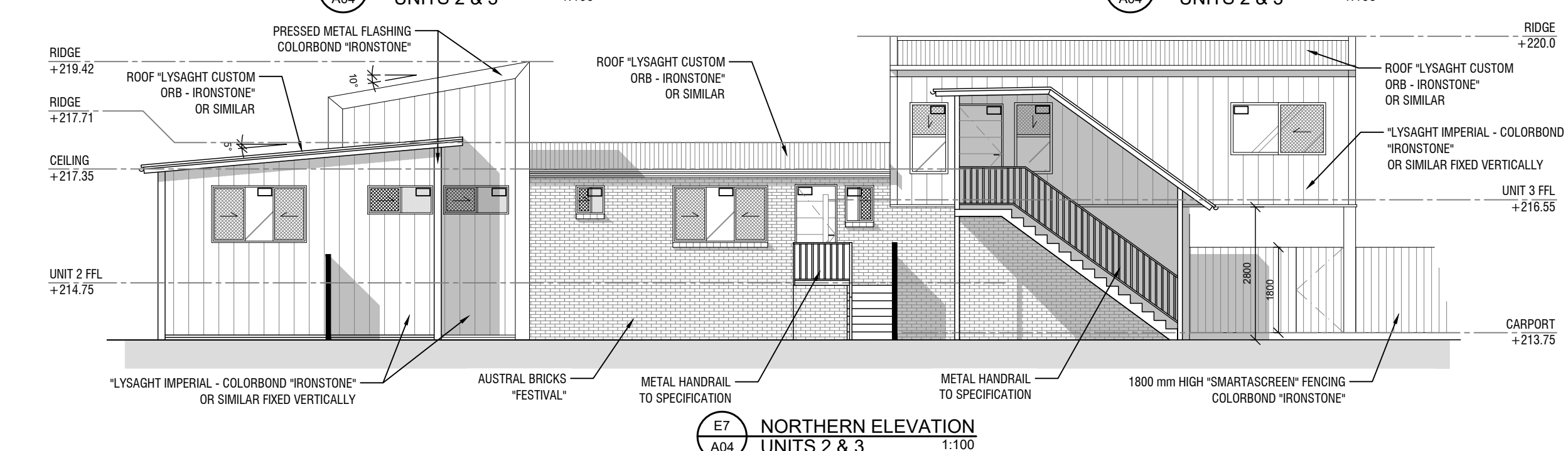
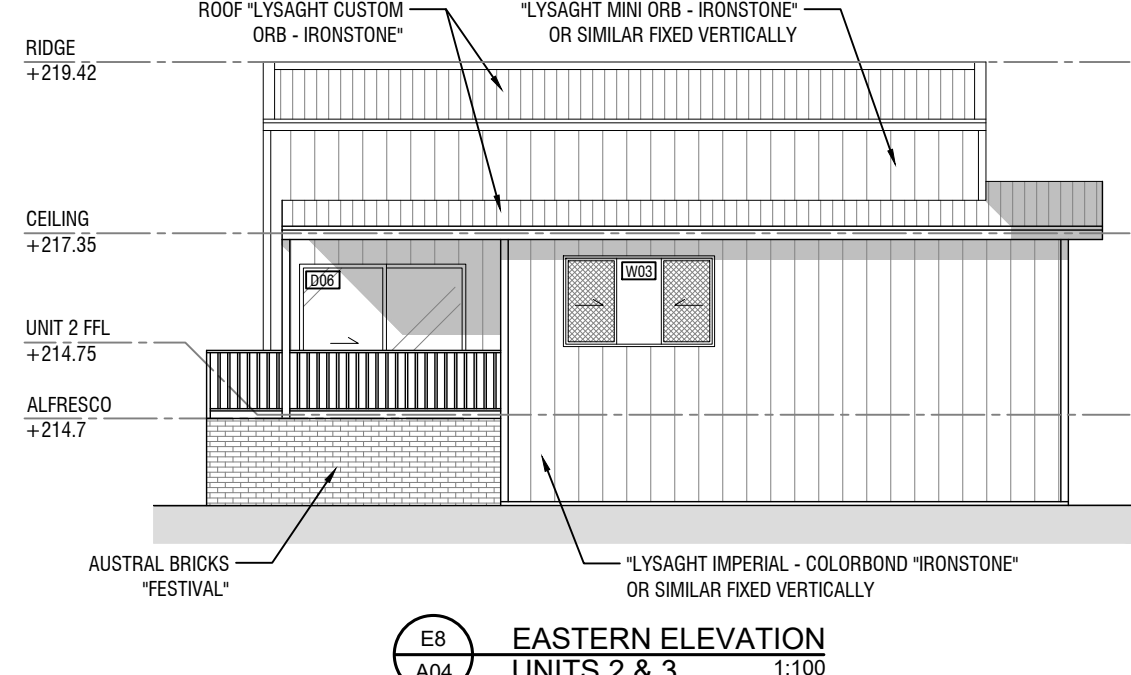
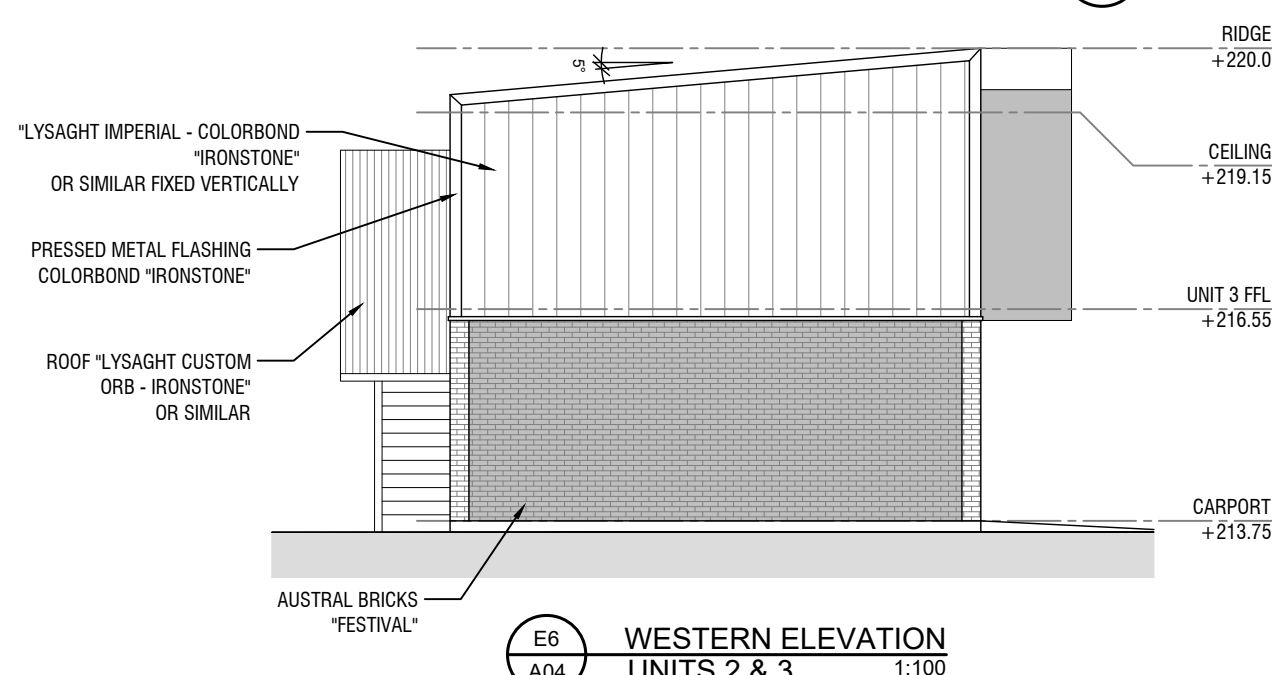
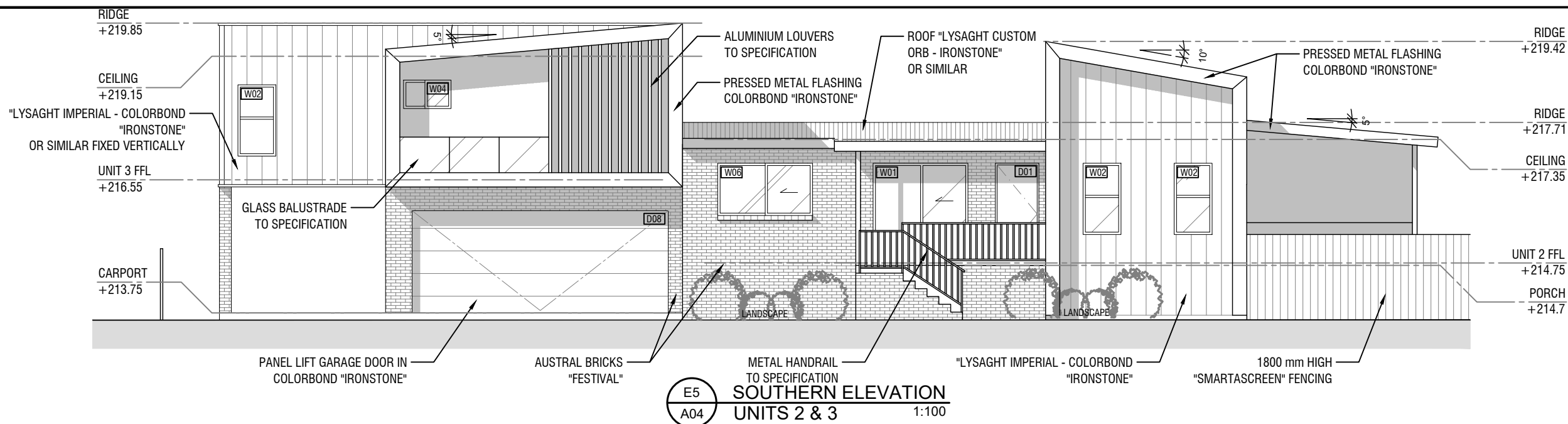
CLIENT:

TEACHER HOUSING AUTHORITY
Level 3
66 Harrington Street, The Rocks
Sydney - NSW 2000



Teacher Housing

| | | | |
|--|----------------------------|-----------------------|-----------------------|
| SITE: 35B Nandewar Street Narrabri - NSW | | | |
| TITLE: THA Capital Works UNIT 1 - ELEVATIONS | | | |
| SCALE AT A3: 1:100 | DATE: 27/04/2021 | DRAWN: VM | CHECKED: VM |
| PROJECT NO: 10042011 | DRAWING NO: A06 | REVISION: B | |



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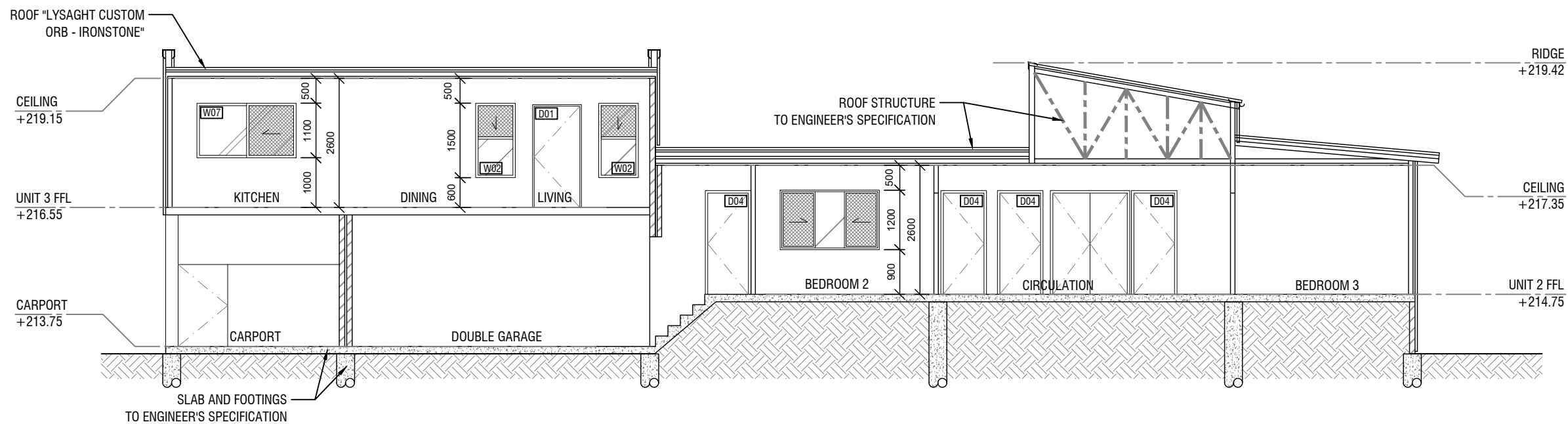
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|------------------------------|----------------------------|-----|----------|
| B | ISSUED FOR DA APPROVAL | VM | 28/04/21 |
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CLIENT: TEACHER HOUSING AUTHORITY
Level 3
66 Harrington Street, The Rocks
Sydney - NSW 2000



| | | | |
|--------------|---|-----------|----------|
| SITE: | 35B Nandewar Street Narrabri - NSW | | |
| TITLE: | THA Capital Works UNITS 2 & 3 - ELEVATIONS | | |
| SCALE AT A3: | DATE: | DRAWN: | CHECKED: |
| 1:100 | 27/04/2021 | VM | VM |
| PROJECT NO: | DRAWING NO: | REVISION: | |
| 10042011 | A07 | B | |



S1
A04
TYPICAL SECTION
1:100

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| B | ISSUED FOR DA APPROVAL | VM | 28/04/21 |
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Executive Director
A division of the Department of Regional NSW

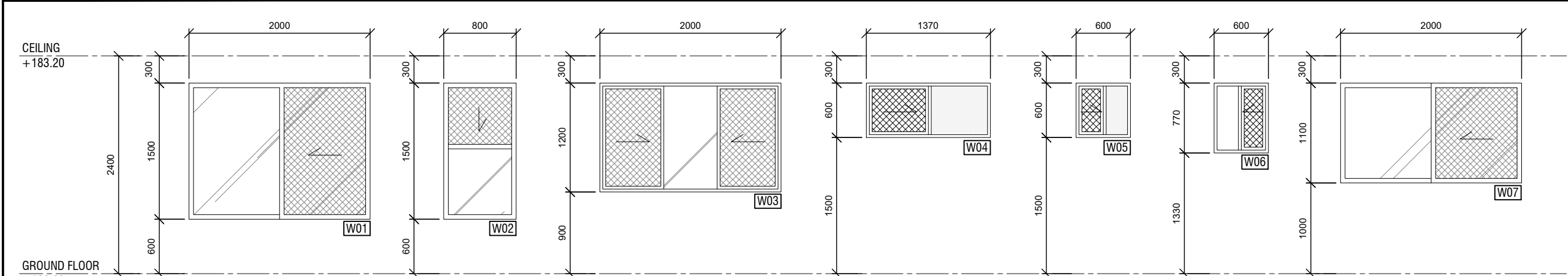
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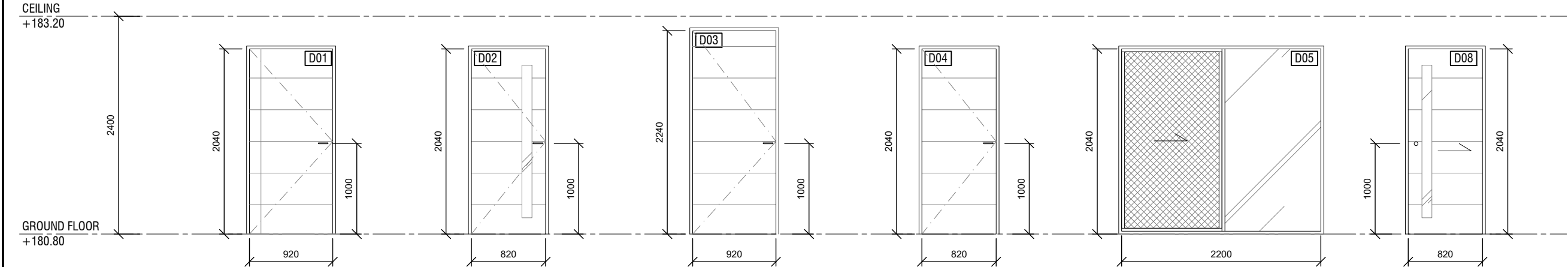
SITE: 35B Nandewar Street
Narrabri - NSW

TITLE: THA Capital Works
TYPICAL SECTION

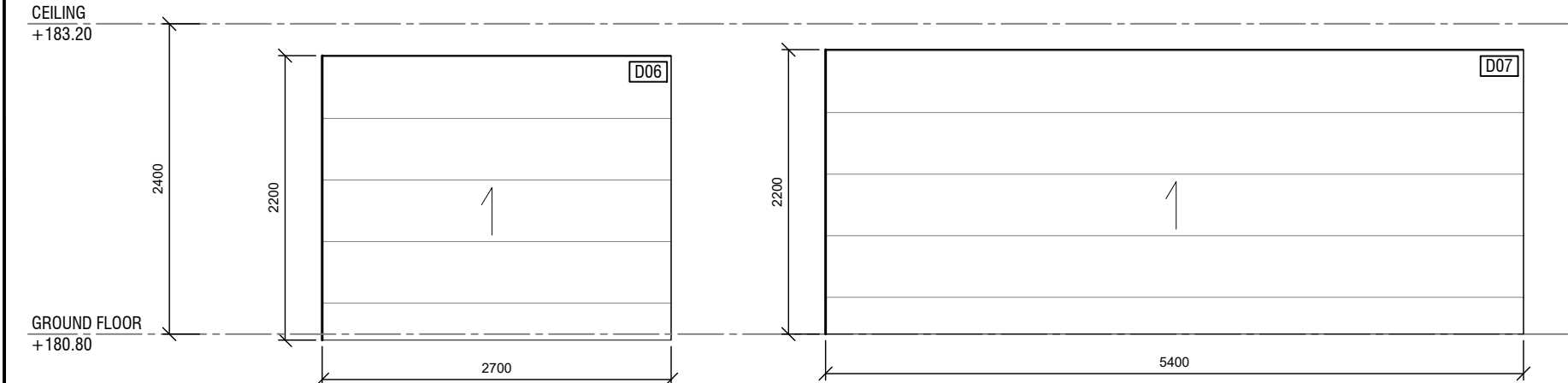
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|-------------------------|---------------------|----------------|----------------|
| SCALE AT A3: 1:100 | DATE: 27/04/2021 | DRAWN: VM | CHECKED: VM |
| PROJECT NO: 10042011 | DRAWING NO: A08 | REVISION: B | |



| | | | | | | | |
|---------------|---------------------------|-------------------------------|---------------------------|---------------------------|---------------------------|---------------------------|---------------------------|
| WINDOW NO. | W1 | W2 | W3 | W4 | W5 | W6 | W7 |
| LOCATION | DINING ROOM | LIVING ROOM | BEDROOMS 1, 2 & 3 | BATHROOM & ENSUITE | TOILET | LAUNDRY | KITCHEN |
| TYPE | ALUMINIUM FRAMED, SLIDING | ALUMINIUM FRAMED, SINGLE HUNG | ALUMINIUM FRAMED, SLIDING | ALUMINIUM FRAMED, SLIDING | ALUMINIUM FRAMED, SLIDING | ALUMINIUM FRAMED, SLIDING | ALUMINIUM FRAMED, SLIDING |
| | SINGLE GLAZED | SINGLE GLAZED | SINGLE GLAZED | SINGLE GLAZED - OBSCURED | SINGLE GLAZED - OBSCURED | SINGLE GLAZED | SINGLE GLAZED |
| SECURITY MESH | YES | YES | YES | YES | YES | YES | YES |



| | | | | | | |
|---------------|-----------------------------------|------------------------------------|------------------------------------|--|--------------------------------|------------------------------------|
| DOOR NO. | D1 | D2 | D3 | D4 | D5 | D8 |
| LOCATION | MAIN ENTRY | LAUNDRY (EXTERNAL) | GARAGE | BEDROOMS, LAUNDRY, WC, BATHROOM, ENSUITE | LIVING ROOM | LAUNDRY |
| TYPE | SOLID CORE FIRE RESISTANT - BAL40 | SOLID CORE - PAINT GRADE TEMPERED | SOLID CORE - PAINT GRADE TEMPERED | HOLLOW CORE - TEMPERED HARDBOARD | ALUMINIUM FRAMED, SLIDING DOOR | SOLID CORE - PAINT GRADE TEMPERED |
| | SWING DOOR - PAINTED "IRONSTONE" | HARDBOARD (DURACOTE). WEATHERPROOF | HARDBOARD (DURACOTE). WEATHERPROOF | (DURACOTE). FACE PAINTED | SINGLE GLAZED | HARDBOARD (DURACOTE). WEATHERPROOF |
| SECURITY MESH | NO | YES | NO | NO | YES | NO |

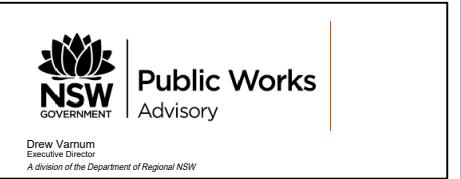


| | | |
|---------------|---|---|
| DOOR NO. | D6 | D7 |
| LOCATION | SINGLE GARAGE | DOUBLE GARAGE |
| TYPE | B&D 'PANELIFT' 'SEVILLE' - FITTED WITH CONTROL-A-DOOR | B&D 'PANELIFT' 'SEVILLE' - FITTED WITH CONTROL-A-DOOR |
| | ADVANCE SWITCHING | ADVANCE SWITCHING |
| SECURITY MESH | N/A | N/A |

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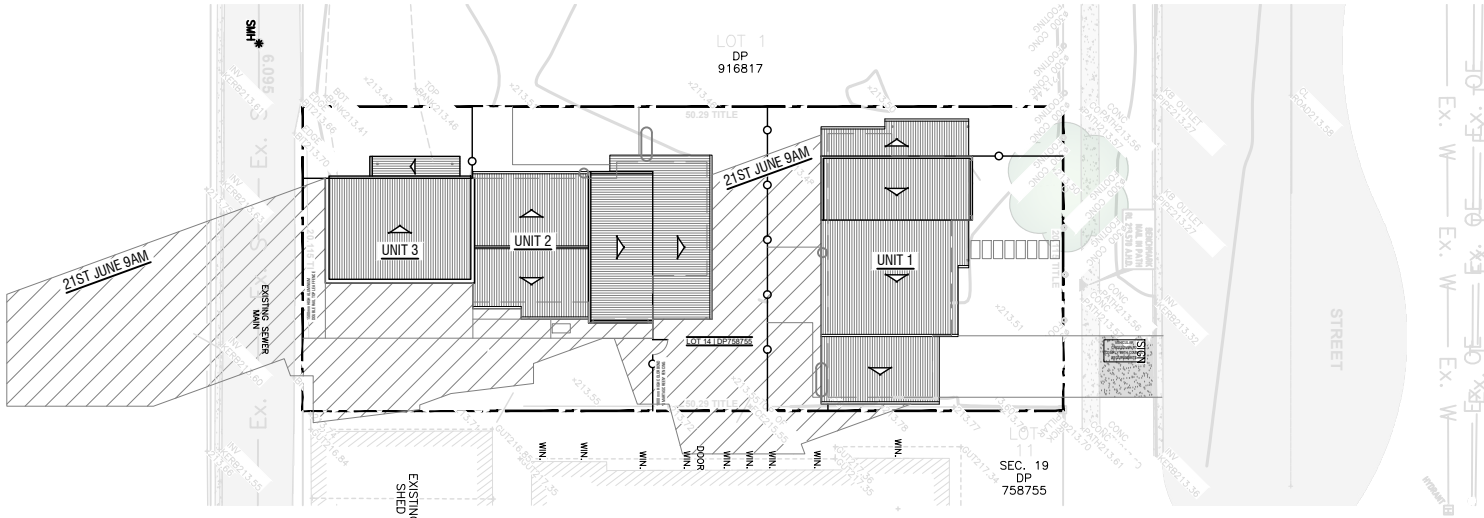
CLIENT: TEACHER HOUSING AUTHORITY
Level 3
66 Harrington Street, The Rocks
Sydney - NSW 2000



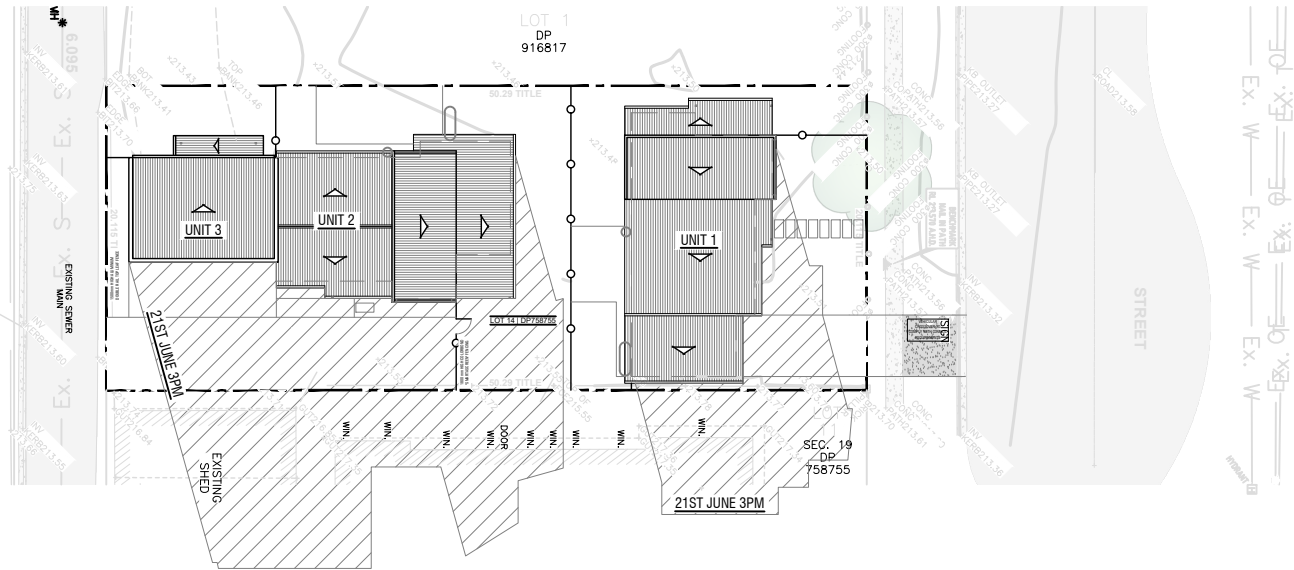
| | | | |
|--|---------------------|----------------|----------------|
| SITE: 35B Nandewar Street Narrabri - NSW | | | |
| TITLE: THA Capital Works WINDOWS & DOORS SCHEDULE | | | |
| SCALE AT A3: 1:100 | DATE: 27/04/2021 | DRAWN: VM | CHECKED: VM |
| PROJECT NO: 10042011 | DRAWING NO: A09 | REVISION: B | |

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1 SHADOW DIAGRAM
A10 21ST JUNE 9AM 1:500



1 SHADOW DIAGRAM
A10 21ST JUNE 3PM 1:500

| | | | |
|------------------------------|------------------------|-----|----------|
| A | ISSUED FOR DA APPROVAL | VM | 30/04/21 |
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Public Works
Advisory

Drew Varnum
Executive Director
A division of the Department of Regional NSW

CLIENT: TEACHER HOUSING AUTHORITY
Level 3
66 Harrington Street, The Rocks
Sydney - NSW 2000



Teacher
Housing

SITE: 35B Nandewar Street
Narrabri - NSW

TITLE: THA Capital Works
SHADOW DIAGRAMS

| | | | |
|-------------------------|---------------------|----------------|----------------|
| SCALE AT A3: 1:500 | DATE: 30/04/2021 | DRAWN: VM | CHECKED: VM |
| PROJECT NO: 10042011 | DRAWING NO: A10 | REVISION: A | |